

J 8 SHOPPING CENTRES and MULTI-PURPOSE BUILDINGS

J8.1 All proposed shopping centers' shall satisfy the Development Authority with respect to:

- (a) orientation of buildings or structures;
- (b) location of development in relation to adjacent land uses;
- (c) vehicular traffic flow patterns within and access to and from the site; and
- (d) safe pedestrian access and egress within the site and from any public sidewalk.

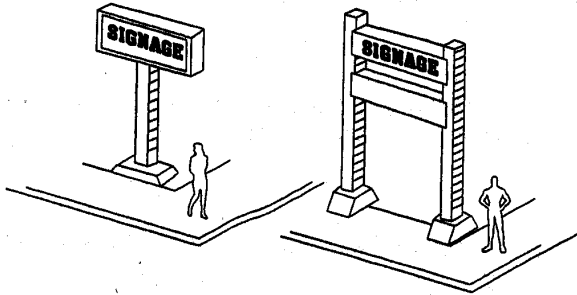
J 9 SIGN CONTROL

J9.1 Signage Regulations for all Districts

- (a) No sign of advertising, directional or information nature shall be erected on a site or affixed to any exterior surface of any building or structure unless an application for this purpose has been approved by the Development Authority.
- (b) No sign shall project more than one half of the distance from the building exterior to the adjacent curb face. The erection of such signs shall require the developer to enter into an encroachment agreement with the Town.
- (c) No sign shall project more than 1.5 m (5 ft) above the top of any main wall or parapet to which it is affixed, unless in the opinion of the Development Authority it is has been designed as an integral part of the building.
- (d) No sign shall be illuminated unless the source of light is suitably shielded and does not interfere with vehicular traffic or the use and enjoyment of adjacent properties.
- (e) The support structure for all signs shall be an integral part of the design and shall be affixed and designed in accordance with accepted engineering practices as outlined in the Alberta Building Code to support the wind load of the sign structure.
- (f) No sign, other than one providing a public service and deemed appropriate by the Development Authority shall be permitted to locate on a public right-of-way or reserve.
- (g) The Development Authority may refuse to allow any sign that is deemed to be inappropriate in design.
- (h) There shall be a minimum clearance height of 2.5 m (8 ft) above finished grade to the bottom of any sign projecting over a public right-of-way or sidewalk.

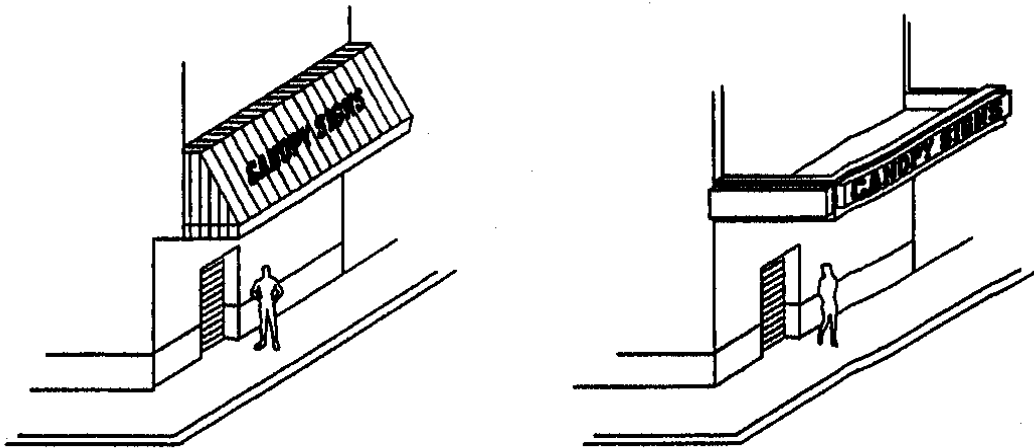
J9.2 Signage Regulations for Commercial and Industrial Districts

(a) Free Standing Signs



- i. A maximum of one (1) free standing sign may be allowed for each site having a continuous frontage of up to 15 m (50 ft).
- ii. A maximum of one (1) additional free standing sign may be allowed for every additional 30.5 m (100 ft) of continuous frontage but in no case should there be more than four (4) free standing signs on anyone (1) site.
- iii. No freestanding sign shall be located on or project over a public right-of-way unless an encroachment agreement has been entered into with the Town.
- iv. Free standing signs shall conform to the setback requirements for principal buildings in the district in which the sign is located unless, in the opinion of the Development Authority, the sign would be compatible with the surrounding land uses and would not compromise traffic safety. For the purpose of this section, setback distances shall be measured from the outermost edge of the sign and/or support structure, whichever is closest to the lot line.

(b) Awning and Canopy Signs



(i) An awning or canopy sign may be allowed on second and third floor awnings in order to advertise those businesses operating at those locations in addition to the first floor.

(ii) There shall be a minimum clearance of 2.5 m (8 ft) above finished grade at the sign location.

(iii) Where a canopy, marquee or similar architectural projection has been included as an integral component of the overall architectural design of a building or designed to provide protection from the weather over an entrance or sidewalk and has been constructed in accordance with the provisions of the Alberta Building Code, the following shall apply:

- * any sign erected upon the vertical surfaces of the canopy shall not extend horizontally beyond the limits of the vertical surface,
- * no sign suspended under a canopy shall extend beyond the horizontal limits of the canopy. Signs suspended under a canopy shall have a clearance of at least 2.5 m (8 ft).

(c) Mansard Roof Signs

A sign may be attached to the face of a mansard roof in lieu of a wall-mounted sign provided that the sign not project beyond the roof peak or sides.

(d) Portable Signs

A maximum of one portable sign shall be allowed per commercial site at the discretion of the development authority.

J9.3 Signage Regulations for Residential Districts

A free standing or wall sign may be allowed to identify an apartment building, mobile home park or subdivision, residential subdivision, or other non-commercial uses provided the sign does not exceed 2 m² (21.5 ft²), project within 1.0 m (3.3 ft) of a property line, and exceed 3.5 m (11.5 ft) in height from finished grade.

SECTION K ESTABLISHMENT OF DISTRICTS

K 1 LAND USE DISTRICTS

For the purpose of this Bylaw, lands within the boundaries of the Town of High Prairie shall be divided into the following districts:

<u>District</u>	<u>Symbol</u>
Restricted Residential	R1
Low Density Residential	R2
Mixed Residential	R3
Multiple Unit Residential	R4
Non Serviced Residential	R5
Mobile Home Park	MP
Mobile Home Subdivision	MS
General Industrial	M1
Institutional	I
Urban Reserve	UR
Direct Control	DC
Public Utility	PU
Environmental Reserve	ER